



**CHAPTER 425:
ST. CHARLES ROCK ROAD TRANSIT STATION AREA
FORM-BASED CODE**

CITY OF PAGEDALE, MO DRAFT | NOVEMBER 27, 2013

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ARTICLE 1: ADMINISTRATION

425.100: PURPOSE

The purpose of the St. Charles Rock Road Transit Station Area Form-Based Code (TSA FBC) is to create standards for carefully planned walkable, mixed-use development that will promote the health, safety, convenience, comfort, prosperity and general welfare of the community by supporting the following principles:

- **Location Efficiency:** The development creates opportunities for citizens to live and work in higher density, walkable, mixed-use neighborhoods.
- **Transportation Connections:** The development supports the existing transit infrastructure network and the MetroLink Station Area by accommodating pedestrians and bicyclists, and minimizing vehicle parking through shared parking lots and structures.
- **Neighborhood Design:** The development supports the basic principles of high quality neighborhood design with interconnected, walkable, tree-lined streets; quality open space in close proximity to every home; a variety of housing types, styles, and prices; and commercial uses that are complimentary to the neighborhood.
- **Community Preferences:** The development reflects the preferences of building form and uses of the members of the community as expressed in an extensive community engagement process.

425.110: APPLICABILITY

- A. Connections to the Zoning Ordinance:** The use of these standards is considered a development alternative to any zoning district under Chapter 405 (Zoning Regulations). These standards replace and supercede all relevant standards unless a specific reference within this Chapter has been noted.
- B. Existing Single Family Dwellings Exempt:** All existing single-family dwelling are exempts from the provisions of this Chapter and may be altered or expanded in accordance with Article II (Districts and District Regulations) of the Zoning Regulations.
- C. New Construction and Additions:** Applications for building permits and/or occupancy

permits that consist of or include the following construction types shall comply with all applicable standards of this Chapter:

1. **New Construction:** Applications that include site preparations for, and construction of, any entirely new structure on the site, including a Parking Facility of any kind, whether or not the site was previously occupied.
 2. **Additions:** Applications that include an extension or increase of Gross Floor Area, number of stories, or height of a building or structure.
- D. Renovations:** Applications that include renovations, repairs, alterations, or otherwise improve an existing non-residential structure by more than 50% of its reasonable replacement value at the time of renovation, repair, or alteration shall be brought into conformance to the greatest extent practical as determined by the Building Commissioner.
- E. Nonconforming Uses:** See Zoning Regulations Section 405.130

425.120: ADMINISTRATION

- A. Reconciliation with Other Standards:**
1. The requirements set forth in this Section shall be considered comprehensive in their scope and shall be established as the exclusive requirements of property under its jurisdiction unless otherwise noted or referenced in this Chapter.
 2. Where these requirements conflict with any requirement of the Zoning Regulations, other sections of the Pagedale Municipal Code, or the applicable Building Code, the more appropriate standard which is otherwise consistent with the intent of this Chapter, as determined by the Building Commissioner, shall apply.
- B. Approvals:** All approvals, unless otherwise noted, shall be by the Building Commissioner.
- C. Administrative Modification:** The Building Commissioner may grant minor modifications of not more than 10% of any dimensional requirement set forth in Section 2 (District Provisions) or

Section 4 (Site Standards), however, the Building Commissioner shall not have authority to increase the height of any structure or to permit a use which is not otherwise permitted. The Building Commissioner shall issue a written decision (via letter or email) only upon a finding that all of the following criteria have been met:

1. The requested modification is consistent with the stated purposes of this ordinance.
2. The modification will not substantially interfere with the convenient and enjoyable use of adjacent lands, and will not pose a danger to the public health or safety.
3. Any adverse impacts resulting from the modification will be mitigated to the maximum practical extent.
4. The modification is of a technical nature (i.e., relief from a dimensional or design standard), and is either:
 - a. Required to compensate for some unusual aspect of the site or the proposed development that is not shared by landowners in general;
 - b. Supporting an objective or goal from the purpose and intent statements of the form-based district where located; or
 - c. Proposed to protect sensitive natural resources or better integrate development with the surrounding environment.

- C. Building Heights shall be measured as follows:
1. The vertical extent of a building is measured by number of stories, not including a raised basement or an inhabited attic, except where a numerical minimum or maximum dimension is noted.
 2. Each story shall be 8 feet to 15 feet Floor to Ceiling (F-C), with the exception of the ground floor of a commercial or mixed-use building, which shall be 12 feet to 25 feet F-C in height. "Floor to Ceiling" measurements are from the finished floor level to the finished ceiling level.
 3. Height limits do not apply to masts, belfries, clock towers, chimney flues, water tanks, elevator bulkheads and similar structures.

4. Heights are measured from the average grade of the Frontage Line to the eave of a pitched roof or to the surface of a flat roof.

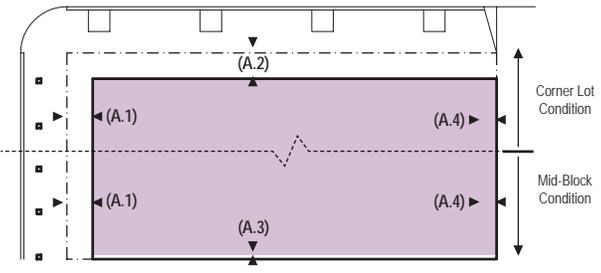
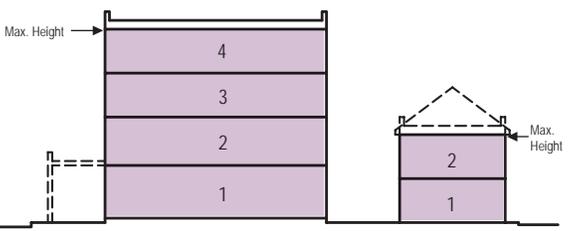
425.130: MASTER PLAN AND DISTRICT DESIGNATION

- A. **Common Ownership Not Required:** This TSA FBC provides for a number of development options on a lot by lot basis. While a master developer with common property ownership is preferred, it is not required.
- B. **Master Plan Required:** A Master Plan shall be submitted to the Building Commissioner showing the general configuration of Districts and Areas (Article 2) and the location and specification of Streets (Article 5).
- C. **Designation of Districts and Areas:** In order to ensure that districts are appropriately applied to a geographic area, the following guidance is provided:
 1. **Neighborhood Center (NC):** Neighborhood Centers are generally organized around main streets and public spaces and are often located in close proximity to transit stations or higher volume thoroughfares.
 2. **Neighborhood General (NG):** The Neighborhood General is the predominate form of any neighborhood and is comprised of a wide variety of housing types including higher density detached structures, townhomes, and multi-family dwellings.
 3. **Neighborhood Edge (NE):** The Neighborhood Edge is comprised of predominately detached single-family dwellings that transitions to other detached single family dwelling districts ("A" Residence Districts).
 4. **Transit Platform Area (TP):** Properties within approximately 400 feet of the station platform require additional regulations to accommodate active uses that support the transit station.
 5. **Public Spaces (PS):** The designation of the general location of public spaces (both active and passive) as required.

ARTICLE 2: DISTRICT STANDARDS

425.200: NEIGHBORHOOD CENTER (NC)

All properties within the NC District shall be subject to the following standards.

A. Building Placement	Minimum	Maximum	Setback Measurements
1. Front Setback as measured from the right-of-way	0 ft	6 ft	
2. Side Setback from right-of-way	0 ft	12 ft	
3. Side Setback from adjacent lot	0 ft	24 ft	
4. Rear Setback	0 ft	N/A	
B. Building Height	Minimum	Maximum	Building Height Measurements (see 425.120.C)
1. Building Height	2 stories	4 stories	
C. Required Frontage Buildout	Minimum	Maximum	Required Frontage Buildout Standards
1. Transit Platform Area	80%	100%	
2. All Other Areas	60%	100%	
3. Required Frontage Standards a. The Sidewalk Story façade shall extend along a minimum percentage of the Frontage Line within the Setback range b. Breezeways and Driveways: The width of a pedestrian breezeway and/or driveway provided on the Frontage Line shall be exempt from this requirement.			
D. Frontages (See 425.250)	Permitted	Required in Platform Area	
1. Porch and Fence	X		
2. Terrace or Lightwell	X		
3. Forecourt	X		
4. Stoop	X		
5. Shopfront & Awning	X	X	
6. Gallery	X	X	

425.210: NEIGHBORHOOD GENERAL (NG)

All properties within the NG District shall be subject to the following standards.

A. Building Placement	Minimum	Maximum	Setback Measurements
1. Principal Structure Front Setback	0 ft	20 ft	
2. Principal Structure Side Setback	0 ft	n/a	
3. Principal Structure Corner Side Setback	0 ft	n/a	
4. Principal Structure Rear Setback	20 ft (15 ft from Alley Centerline)		
5. Accessory Structure Side Setback	3 ft or 6 ft from right-of-way		
6. Accessory Structure Rear Setback	3 ft or 0 ft from Alley		
B. Building Height	Minimum	Maximum	Building Height Measurements (see 425.120.C)
1. Principal Structure Building Height	n/a	4 stories	
2. Accessory Structure Building Height	n/a	2 stories	
C. Frontages (See 425.250)	Permitted		
1. Porch and Fence	X		
2. Terrace or Lightwell	X		
3. Forecourt	X		
4. Stoop	X		
5. Shopfront & Awning			
6. Gallery			

425.220: NEIGHBORHOOD EDGE (NE)

All properties within the NG District shall be subject to the following standards.

A. Building Placement	Minimum	Maximum	Setback Measurements
1. Principal Structure Front Setback	6 ft	n/a	
2. Principal Structure Side Setback	6 ft	n/a	
3. Principal Structure Corner Side Setback	6 ft	n/a	
4. Principal Structure Rear Setback	20 ft (15 ft from Alley Centerline)		
5. Accessory Structure Side Setback	3 ft or 6 ft from right-of-way		
6. Accessory Structure Rear Setback	3 ft or 0 ft from Alley		
B. Building Height	Minimum	Maximum	Building Height Measurements (see 425.120.C)
1. Principal Structure Building Height	n/a	2 stories	
2. Accessory Structure Building Height	n/a	2 stories	
C. Frontages (See 425.250)	Permitted		
1. Porch and Fence	X		
2. Terrace or Lightwell			
3. Forecourt			
4. Stoop			
5. Shopfront & Awning			
6. Gallery			

425.230: TRANSIT PLATFORM AREA (TP)

- A. All properties that front the Platform Area, as designated on the Master Plan, shall be subject to the additional regulations which are specified below:

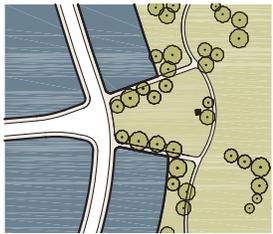
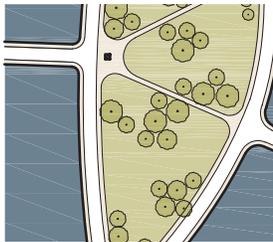
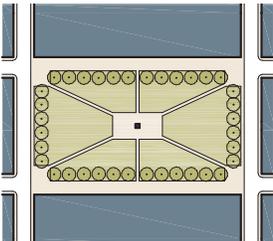
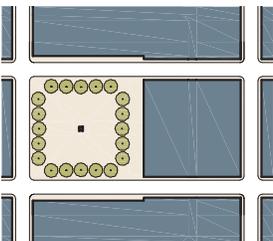
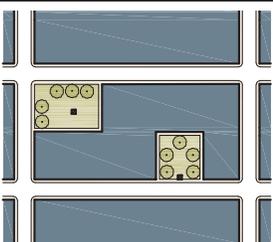
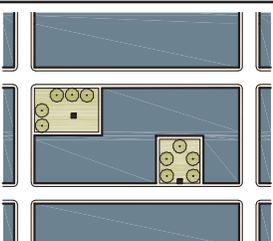
Regulation Type	Section	Additional Standards
Frontage Buildout	2.4	80%
Frontage Type	2.5	Shopfront and Awning OR Gallery required
Table of Permitted and Prohibited Uses	3.1	Uses located in Sidewalk Story shall be limited to those uses denoted in the Table in 425.2XX
Vehicle Parking Requirements	4.1.1	No Parking Requirements
Parking Configuration	4.1.3	On-Street, Rear Yard, or Parking Structure Only

425.240: PUBLIC SPACE (PS)

All development shall provide Public Space in accordance with the following provisions:

- A. **Minimum Standards:**

Regulation Type	Required Public Space Type	Additional Requirements
Transit Platform Area	Plaza or Square	Within 500 feet of the Transit Platform
Neighborhood Center	Plaza or Square	Required as a central element
Neighborhood General & Neighborhood Edge	Any Permitted Public Space	No dwelling shall be further than 900 feet from a Public Space

B. PUBLIC SPACE TYPE	DIAGRAM	TYPICAL FACILITIES	REQUIRED AMENITIES
<p>1. Greenway: A linear public space that may follow natural corridors providing unstructured and limited amounts of structured recreation.</p>		<p>Passive and Active Recreation; Drinking Fountains; Paths and Trails</p>	<p>Paved path a minimum of 10 feet in width located within an easement or right-of-way that is a minimum of 20 feet in width</p>
<p>2. Park/Green: A public space available for passive and active recreation.</p>		<p>Passive and Active (unstructured or structured) Recreation; Accessory Structure; Drinking Fountains; Paths and Trails</p>	<p>Public Seating: Provide seating areas appropriate to the intended use of the space (e.g., park benches, steps, garden wall seats) with a minimum of 2.5 linear feet of seating shall be provided for every 500 square feet of open space (up to 4 acres), with a minimum of 10 linear feet of seating.</p> <p>Tree Planting: The public space shall be designed to have a minimum of 25% tree canopy coverage at tree maturity. All plantings shall follow the specifications established in 4.3.1</p>
<p>3. Square: A public space available for civic purposes, unstructured and limited amounts of structured recreation.</p>		<p>Passive and Active (unstructured or structured) Recreation; Accessory Structure; Drinking Fountains; Paths and Trails</p>	<p>Pervious Surface: A minimum of 25% of the public space shall be covered in a pervious surface.</p> <p>Water: A minimum of one water tap for each 5,000 square feet of each landscaped recreation space shall be provided.</p> <p>Trash Receptacle: One garbage receptacle and one recycling receptacle for every 5,000 square feet of each physically separated public space shall be provided.</p>
<p>4. Plaza: A formal public space available for civic purposes and commercial activities. Plazas are typically hardscaped.</p>		<p>Passive Recreation; Accessory Structure; Drinking Fountains; Paths and Trails</p>	
<p>5. Playground: A public space designed and equipped for the recreation of children. A Playground should be fenced and may include an open shelter. Playgrounds may be included within other public spaces.</p>		<p>Accessory Structure; Drinking Fountains; Paths and Trails</p>	<p>Surface Materials: Playing surfaces shall be covered in sand, wood chips, or other equivalent material. Paths and walkways shall be paved in concrete, crushed gravel, brick pavers, or similar material.</p> <p>Certified Equipment: Playground equipment shall be equivalent to the standards established by the Consumer Products Safety Commission and ASTM for playgrounds.</p>
<p>6. Community Garden: A public open space designed as a grouping of garden plots that are available to nearby residents for small-scale cultivation. Community Gardens may be included within other public spaces.</p>		<p>Accessory Structure; Drinking Fountains; Paths and Trails</p>	<p>Water: A minimum of one water tap for each 5,000 square feet shall be provided.</p>

Notes: The illustration and description of each public space type is illustrative in nature and not regulatory.

425.250: FRONTAGE TYPES AND RESTRICTIONS

- A. Frontage Types Table: The table below provides descriptions and diagrams of the permitted Frontage Types in accordance with Article 2. Encroachments are permitted in accordance with Section 525.400 and 525.410.
- B. Platform Area: Private Frontages fronting the Platform Area shall be either the Shopfront & Awning or Gallery Frontage Type.

LOCATION	DESCRIPTION	SECTION		PLAN	
		LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE	LOT PRIVATE FRONTAGE	R.O.W. PUBLIC FRONTAGE
PERMITTED WITHIN TRADITIONAL NEIGHBORHOOD DEVELOPMENT (TND) REQUIRED IN PLATFORM AREA	a. Porch & Fence: a frontage where the façade is set back from the frontage line with an attached porch permitted to encroach. A fence at the frontage line maintains the demarcation of the yard.				
	b. Terrace or Light Court: a frontage where the façade is set back from the frontage line by an elevated terrace or a sunken light court. This type buffers residential use from urban sidewalks and removes the private yard from public encroachment. The terrace is suitable for conversion to outdoor cafes.				
	c. Forecourt: a frontage where a portion of the façade is close to the frontage line and the central portion is set back. The forecourt created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other frontage types. Large trees within the forecourts may overhang the sidewalks.				
	d. Stoop: a frontage where the façade is aligned close to the frontage line with the first story elevated from the sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor residential use.				
	e. Shopfront & Awning: a frontage where the façade is aligned close to the frontage line with the building entrance at sidewalk grade. This type is conventional for retail use. It has a substantial glazing on the sidewalk level and an awning that may overlap the sidewalk.				
	f. Gallery: a frontage where the façade is aligned close to the frontage line with an attached cantilevered shed or a lightweight colonnade overlapping the sidewalk. This type is conventional for retail use. The gallery may encroach into the right-of-way.				

425.260: TABLE OF PERMITTED AND PROHIBITED USES

A Uses shall be designated Permitted or Prohibited according to the table below.

USE TYPE	NC	NG	NE	Additional Standards
A. Residential				
Single-Family Dwelling	■	■	■	
Two-Family Dwelling	■	■	■	
Four-Family Dwelling	■	■	—	
Multiple-family Dwelling (> 4 units)	■	■	—	
Accessory Dwelling Unit	■	■	■	425.270.A
Live-Work Unit	■	■	■	425.270.B
Group Home	■	■	—	
B. Lodging				
Inn (≤ 19 rooms)	■ ¹	—	—	
Hotel (≥ 20 rooms)	■ ¹	—	—	
C. Office/Retail				
Adult Uses	—	—	—	
Office	■	—	—	
General Retail (up to 70,000 sf)	■ ¹	—	—	
General Retail (> 70,000 sf)	—	—	—	
Restaurant	■ ¹	—	—	
Package Liquor Store	—	—	—	
D. Civic				
Cemetery	■	—	—	
Community Garden	■	■	■	
Cultural or Community Facility	■ ¹	■	■	
Day Care Center/Pre-School	■	■	■	
Entertainment Use	■ ¹	—	—	
College/University	■	—	—	
School	■	■	—	
Religious Institution	■	■	■	
E. INDUSTRIAL				
Artist Studio/Light Manufacturing Workshop	■	—	—	
Electric Substation	—	—	—	
Heavy Industry/Manufacturing	—	—	—	
Sewer and Waste Facility	—	—	—	
Warehouse	—	—	—	
Wireless Transmission Tower	—	—	—	

■ Permitted
 — Prohibited
¹ Permitted Use in the Sidewalk Story of the Platform Area

USE TYPE	NC	NG	NE	Additional Standards
F. VEHICLE-RELATED USES				
Automobile Service	—	—	—	
Drive -Through Facility	—	—	—	
Gas Station	—	—	—	
Parking Structure	■	■	—	
Public Surface Parking Lot	■	■	—	

■ Permitted
 — Prohibited
¹ Permitted Use in the Sidewalk Story of the Platform Area

425.270: ADDITIONAL USE STANDARDS

- A. **Accessory Dwelling Unit (ADU):**
- Only one ADU is permitted per lot.
 - The accessory dwelling unit shall not be larger than 25% of the gross floor area of the Principal Building except that it shall have a minimum habitable area of at least 360 square feet.
 - Any accessory dwelling unit must be located at least 20 feet behind the Façade of the Principal Building.
 - Accessory dwelling units may be created as a second story to a detached garage as long as the accessory structure does not exceed the height of the Principal Building.
 - One parking space may be provided per unit. Parking spaces must be located in the rear yard or side yard of the Principal Building or may be located on-street in front of the Principal Building.
- B. **Live-Work Unit:**
- Non-residential use areas shall meet accessibility requirements of the applicable building code.
 - The maximum total size of a Live-Work unit is 3,000 square feet and 3 stories in height.
 - The non-residential use shall be limited to the Sidewalk Story only, and must occupy the Private Frontage.
 - Building design shall follow the requirements of 525.400 (Multi-Family Dwelling Design Standards).

ARTICLE 3: SITE STANDARDS

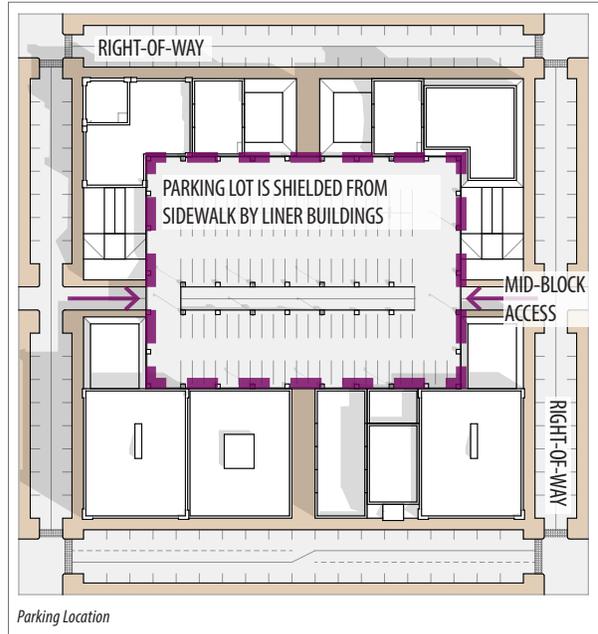
425.300: PARKING REQUIREMENTS

- A. **Vehicle Parking Requirements:** The table below shows the number of parking spaces required for each use type as established in 425.260.A (Table of Permitted and Prohibited Uses.)

REQUIRED NUMBER OF VEHICLE PARKING SPACES				
Use	Transit Platform Area Uses (TP)		All Other Districts	
	Minimum	Maximum	Minimum	Maximum
Residential	None	1.0 / dwelling	None	1.5 / dwelling
Lodging	None	1.0 / bedroom	None	1.0 / bedroom
Office	None	2.0 / 1000 sq. ft.	2.0 / 1000 sq. ft.	3.0 / 1000 sq. ft.
Retail	None	3.0 / 1000 sq. ft.	2.0 / 1000 sq. ft.	4.0 / 1000 sq. ft.
Civic	None	2.0 / 1000 sq. ft.	None	3.0 / 1000 sq. ft.*
Other	None	2.0 / 1000 sq. ft.	None	3.0 / 1000 sq. ft.*

- On-Street Parking:** On-street parking available along the Frontage Lines that correspond to each lot shall be counted toward the parking requirement of the building on the lot.
 - Public Parking:** The required parking for non-residential uses may be provided by publicly available parking within 1000 feet of the site that it serves, subject to approval by the Building Commissioner.
- B. **Parking Configuration:**
- Location:** Off-Street parking shall be located according to the standards below. Such requirements are intended to be applied from the Principal Frontage of the lot as determined by the Building Commissioner.
 - Platform Area:** Rear Yard Only
 - All other areas:** Side or Rear Yard Only
 - Vehicle Access:** Parking must be accessed from a rear alley or a secondary frontage unless a variance has been granted.
 - Screening Required:** Parking lots shall be masked from the Frontage Line by a Liner Building or Streetscreen (425.320.B)
 - Landscaping:** See 425.320
 - Entrance:** A pedestrian entrance to all parking lots shall be provided directly from a Frontage Line.
- C. **Bicycle Parking:** Bicycle parking is required for all non-residential uses and for residential uses with more than 4 units per building.
- Minimum Number of Spaces:** A minimum of one bicycle parking space for every 4 vehicle parking spaces shall be provided. Per this calculation, no more than 20 bicycle parking spaces shall be required, but more than 20 spaces are permitted at the discretion of the applicant.
 - Required Racks:** “Inverted U” type racks or other racks that support the bicycle at two points on the bicycle frame are required. A single inverted U rack shall count as 2 bicycle spaces.
- D. **Parking Structure**
- Pedestrian Entrances:** A pedestrian entrance to all parking structures shall be provided directly from a Frontage Line. For underground parking structures, the only pedestrian entrance may be directly from a Principal Building.

2. **Lighting:** Lighting shall be designed so as not to create glare off-site.
3. **Screening Required:** The sidewalk story of an above-ground parking structure shall be screened by commercial or multifamily uses along the Frontage Line in such a way that cars are not visible from the sidewalk. If screening the structure with commercial or multifamily uses is not feasible due to lot size, necessary parking deck size, or other conditions as determined by the Building Commissioner, then the building wall or walls along the Frontage Line shall be designed so as to resemble a building in use with elements such as window indentions, brick patterns and articulated surfaces.



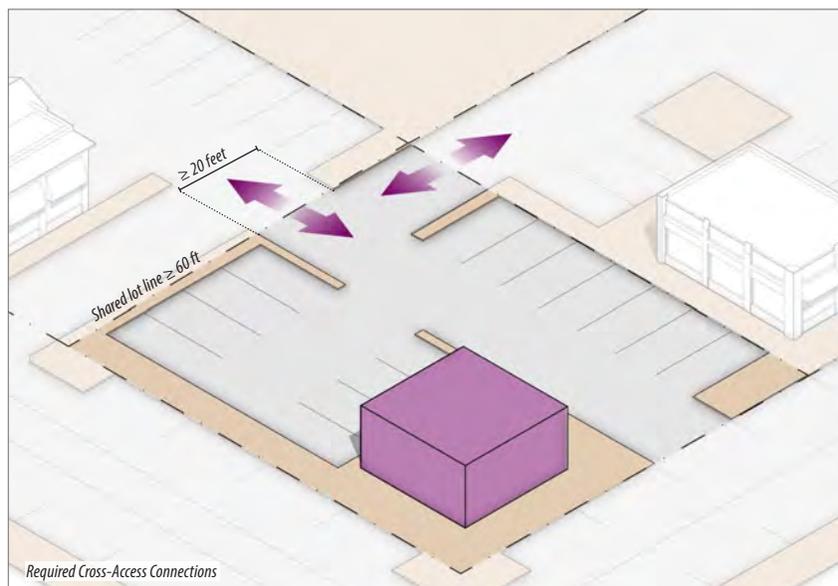
425.310: DRIVEWAYS AND CROSS-ACCESS CONNECTIONS

A. Driveways

1. **Mid-block Lot Driveways:** A mid-block lot that has no access to a side street or alley is permitted one driveway with a maximum width of 24 feet.
2. **Corner Lot Driveways:** Corner lots may take access from a side street or Secondary Frontage only. Preference for access shall be given to the minor street as determined by the Building Commissioner. Driveways shall be located as far from the adjacent public street intersection as practical to achieve maximum available corner clearance, with consideration given to property limits, adjacent curb cuts, topography, and existing drainage facilities.
3. **Driveway Widths:** Vehicular entrances to parking lots and Parking Structures shall be no wider than 24 feet at the Frontage Line.

B. Cross-Access Connections: Cross-access easements and connections to adjoining properties shall be required to connect driveways and parking lots. The following guidelines shall apply:

1. At least 1 connection is provided at all lot lines that are coincident for at least 60 feet with another lot that has primary frontage on the same street.
2. The connection is at least 20 feet in width.
3. If applicable, the connection aligns with a connection that has been previously constructed on an adjacent property.
4. The connection has a slope of no greater than 15%.
5. In the event these conditions cannot be met without undue hardship, or if such connections would create undesirable traffic flow, the

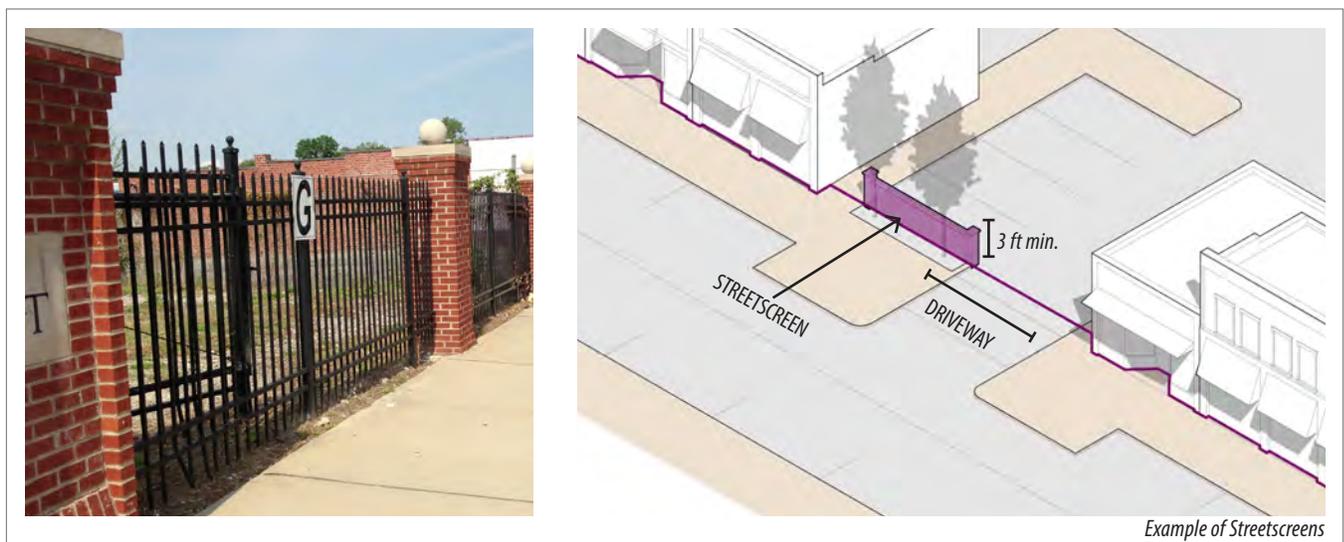


Building Commissioner may waive the connection requirement.

6. Where a parking lot connection is required an easement for ingress and egress to adjacent lots shall be recorded by the property owner in the form of an easement plat.

425.320: SITE LANDSCAPING

- A. General Planting Standards:** Trees and shrubs planted to meet the requirements of this chapter shall be in accordance with the following:
1. **Species:** All plant species shall be either indigenous to the St. Louis area or have a proven performance value in the area over time, and shall be tolerant of urban environments. Plant species designated as Plants of Merit by the Missouri Botanical Garden shall be considered plants that meet these requirements.
 2. **Trees:**
 - a. **Canopy:** Canopy Trees shall be an expected mature height of 35 feet or greater and an expected mature crown spread of 30 feet or greater. When planted, canopy trees must be a minimum of 8 feet high, and have a minimum caliper of 2 inches as measured at breast height (or approximately 4.5 feet above grade – DBH). Multi-stemmed trees shall have at least 3 stalks (minimum 1-inch DBH) and be at least 8 feet in height when planted.
 - b. **Understory:** Understory Trees shall be a minimum of 6 feet high and 1-inch DBH when planted. When mature, understory trees shall be between 15 and 30 feet in height.
 - c. **Evergreen:** Evergreen Trees shall have green foliage that lasts through all seasons and an expected mature height of 20 feet or greater. Evergreen trees shall be a minimum of 8 feet in height and have a 2-inch DBH when planted.
- B. Streetscreens:** Streetscreens serve to minimize gaps between buildings along the Frontage Line. Construction of Streetscreens shall meet the following requirements:
1. **Minimum Height:** 3 feet above sidewalk level.
 2. **Materials:** Streetscreens shall be constructed of a material matching the adjacent building façade, wrought iron and brick piers, or a landscaping hedge.
 3. **Openings:** Streetscreens shall have openings no larger than necessary to allow pedestrian and/or vehicle access.



C. **Parking Lot Landscaping:**

1. **Applicability:** The following provisions for parking lot landscaping shall apply to all parking lots containing more than 12 spaces.
2. **Parking Lot Islands / Planting Areas**
 - a. A minimum of 1 canopy tree or 2 understory trees per 12 parking spaces is required.
 - b. All trees and plantings shall be in planting areas or landscape islands, protected by curbs or wheel stops, with a minimum area of 180 square feet and a minimum width of 10 feet.
 - c. Parking lot islands or planting areas with a minimum of 1 canopy tree or 2 understory trees shall be placed at the end of every row of parking.
 - d. No parking space shall be more than 50 feet from the base of a tree.
3. **Pedestrian Access:** Sidewalks or paths shall be provided within required landscaped areas as necessary to connect to access ways.

installed along all sidewalks as a streetscape element as required in Article 5.

- b. **Intersections:** Lighting shall be placed at all street intersections and is preferred at street curves.
 - c. **Alleys:** Alleys are excluded from the spacing and lighting requirements of this Section.
2. **Scale and Type:** Pedestrian-scaled street lighting (no taller than 20 feet) using decorative acorn, globe, or pendant style fixtures shall be required. Such lighting shall be prioritized over automobile lighting in all districts. Lighting shall be placed in a manner to limit the casting of shadows on sidewalks.
 3. **Cutoff Fixture Required:** All street lights shall utilize a cutoff fixture. Where buildings are close to the street (less than 15 feet from the right-of-way), full cutoff fixtures are required to limit glare and light spillage on upper levels.

- B. **Building and Landscaping Lighting:** Lighting shall be located, aimed, and shielded so that direct illumination is focused exclusively on the building façade, plantings, or other site features and does not glare into adjoining properties or the street right-of-way.

425.330: FENCES

- A. **Encroachment and Height:** Fences and garden/yard walls may encroach into required yards but, if higher than 3.5 feet, may not be placed within the site visibility triangle of a public street, private street or driveway contained either on the property or on an adjoining property.
- B. **Materials:** Fences shall be made of masonry, ornamental metal or durable wood, or some combination of the three. The use of chain link, plastic or wire fencing is prohibited in any front or side yard.

425.340: LIGHTING

- A. **Street Lighting:** Street lighting shall be placed on all streets to allow for the safe use of streets by both pedestrians and vehicles. All street lighting shall be placed in accordance with the following minimum design standards:
 1. **Location:**
 - a. **Streetscape:** Street lighting shall be

425.350: SIGNS

- A. Refer to Chapter 410 (Sign Regulations) of the Pagedale Municipal Code

ARTICLE 4: BUILDING STANDARDS

525.400: RESIDENTIAL BUILDING STANDARDS

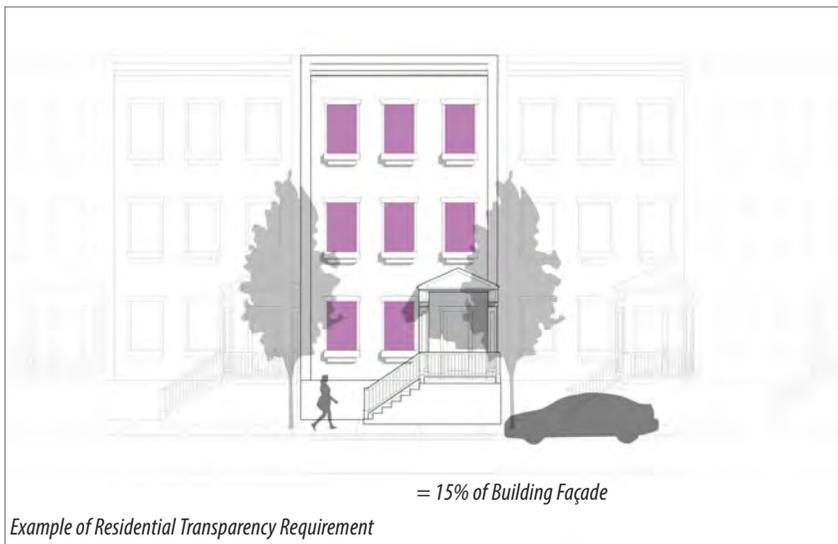


- A. **Applicability:** The standards of this section shall apply to those structures which have primarily residential Frontages (including Live-Work buildings) including dwellings with more than 2 units, townhomes, and apartments.
- B. **Roof and Eaves**
1. Pitched roofs, if provided, shall be symmetrically sloped no less than 8:12, except that porches and attached sheds may be no less than 2:12.
 2. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the Building Commissioner.
 3. **Materials:** Residential roofs must be clad in wood shingles, standing seam metal, terne, slate, dimensional asphalt shingles or synthetic materials similar and/or superior in appearance and durability.
- C. **Frontage Design**
1. **Pedestrian Entrance from Frontage Required:** All buildings shall provide a functioning entrance facing the Frontage Line. Buildings located on street corners may have a corner entrance.
 2. **Raised Entries:** To provide privacy, all residential entrances within 15 feet of the sidewalk must be raised from the average sidewalk grade a minimum of 24 inches. Secondary subgrade or lightwell entrances are permitted. Exterior entry steps shall have enclosed risers.
 3. **Porches and Stoops:** Usable porches and stoops shall form a predominate motif of the building design and be located on the front and/or side of the building to respond to the climatic conditions and the vernacular of the region. Usable front porches are covered and are at least 8 feet deep and 12 feet in width. Stoops and entry-level porches shall not be enclosed with screen wire or glass.
 4. **Ground Level Air-Rights Encroachments:** Awnings, Arcades, Canopies, and Galleries may encroach 4 feet over the Sidewalk, but must clear the Sidewalk vertically by at least 8 feet.
 5. **Upper Story Encroachments:** Bay windows, balconies and similar features projecting from the principal building may encroach to within 2 feet of the back of the curb.
 6. **Cornices and Gutters:** Cornices, eave overhangs, and similar projections (including gutters) may encroach no more than 2 feet into the public right-of-way, but must clear the sidewalk vertically by at least 8 feet.
 7. **Handicapped Ramps:** Ramps for handicap accessibility and fire escapes that are required by the Accessibility Code shall not be closer than 3 feet to any property line.

8. **Steps and Stairs:** Uncovered and unenclosed steps and stairs shall not encroach into the public right-of-way, or a private sidewalk or street.

D. Façade Treatment and Building Walls

1. **Proportion:** All openings, including porches, galleries, arcades and windows, with the exception of storefronts, shall be square or vertical in proportion.
2. **Minimize Blank Walls:** At least 15% of the total wall area of each façade shall be composed of transparent windows (excluding glass block) or doorways (egress only doorway excluded).
 - a. “Transparent” shall mean clear glass such that there are direct views to the building’s interior extending a minimum of 6 feet behind the window during daylight hours. Reflective, highly tinted glass, faux windows or casement display windows are prohibited in meeting this requirement.



3. **Materials:** Building façade materials, with the exception of corner treatments and columns, shall be combined only horizontally, with the heavier below the lighter. The exterior finish material on all Façades shall be limited to brick, stone, wood siding, cementitious (fiber cement) siding, and/or hard coat stucco.
4. **Chimney:** Chimneys shall extend to the ground.
5. **Crawlspace:** The crawlspace of buildings, if provided, must be enclosed.

E. Windows and Doors

1. Entry façade window trim shall not be flush with the exterior wall and shall have a minimum relief of 0.25 inch from the exterior wall.
2. Doors and windows that operate as sliders are prohibited along Frontages.

525.410: MIXED-USE AND COMMERCIAL BUILDING STANDARDS



- A. **Applicability:** The standards of this section shall apply to those structures which have primarily commercial Frontages (excluding Live-Work buildings).
- B. **Roof and Eaves**
1. Pitched roofs, if provided, shall be symmetrically sloped no less than 8:12, except that porches and attached sheds may be no less than 2:12.
 2. Flat roofs shall be enclosed by parapets a minimum of 42 inches high, or as required to conceal mechanical equipment to the satisfaction of the Building Commissioner.
 3. All roofs shall have a minimum 25-year roof warranty and no visible roll roofing.
- C. **Frontage Design**
1. **Pedestrian Entrance from Frontage Required:** All buildings and ground level tenants shall provide a functioning entrance, operable during normal business hours for ingress and egress, facing the Frontage Line. Buildings located on street corners may have a corner entrance.
 2. **Maximum Entrance Setback:** Primary pedestrian entrances on the Principal Frontage shall be recessed a maximum of 7 feet from the exterior façade, and shall remain unlocked during normal business hours..
 3. **Canopies and Awnings:** Awnings and canopies shall be of fabric, canvas, fixed metal, or similar material. They shall project a minimum of 4 feet from the façade, with a maximum projection over a sidewalk to within 2 feet of a public street curb. The awning or canopy shall have a minimum clearance height of 8 feet above the sidewalk.
 4. **Arcades and Galleries:** Arcades and Galleries may encroach to within 2 feet of the back of the curb.
 5. **Upper Story Encroachments:** Bay windows, balconies and similar features projecting from the principal building may encroach to within 2 feet of the back of the curb.
 6. **Cornices and Gutters:** Cornices, eave overhangs, and similar projections (including gutters) may encroach no more than 2 feet into the public right-of-way, but must clear the sidewalk vertically by at least 8 feet.
 7. **Handicapped Ramps:** Ramps for handicap accessibility and fire escapes that are required by the Accessibility Code shall not be closer than 3 feet to any property line.
 8. **Steps and Stairs:** Uncovered and unenclosed steps and stairs shall not encroach into the public right-of-way, or a private sidewalk or street.

D. Façade Treatment and Building Walls

1. **Minimize Blank Walls:** In order to minimize blank walls, architectural elements like windows and doors, bulkheads, masonry piers, transoms, cornice lines, window hoods, awnings, canopies, and other similar details must be used to articulate all façades. No façade length shall exceed 20 feet without such elements.
2. **Required Transparency Zone:** No less than 60% of the Principal Frontage of the Sidewalk-Story shall be made up of clear glass, including windows and doors.
 - a. “Transparent” shall mean clear glass such that there are direct views to the building’s interior extending a minimum of 6 feet behind the window during daylight hours. Reflective, highly tinted glass, faux windows or casement display windows are prohibited in meeting this requirement.



3. **Materials:** Building façade materials, with the exception of corner treatments and columns, shall be combined only horizontally, with the heavier below the lighter. The exterior finish material on all Façades shall be limited to brick, stone, and/or hard coat stucco.

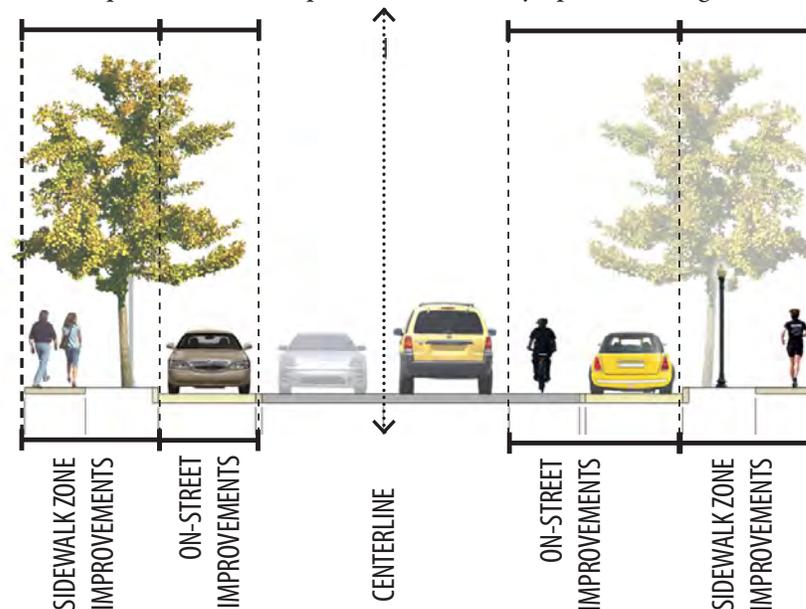
E. Windows and Doors

1. Doors and windows that operate as sliders are prohibited along Frontages.
2. Entry façade window trim shall not be flush with the exterior wall and shall have a minimum relief of 0.25 inch from the exterior wall.
3. Ventilation grates or emergency exit doors located at the first floor level in the building façade, which are oriented to any public street, must be decorative.

ARTICLE 5: STREETS

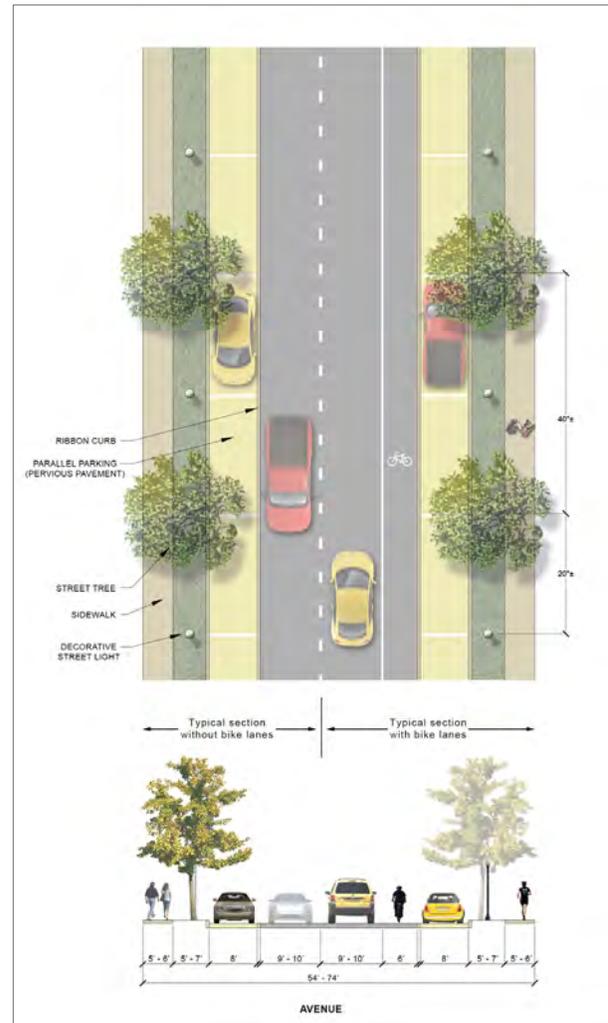
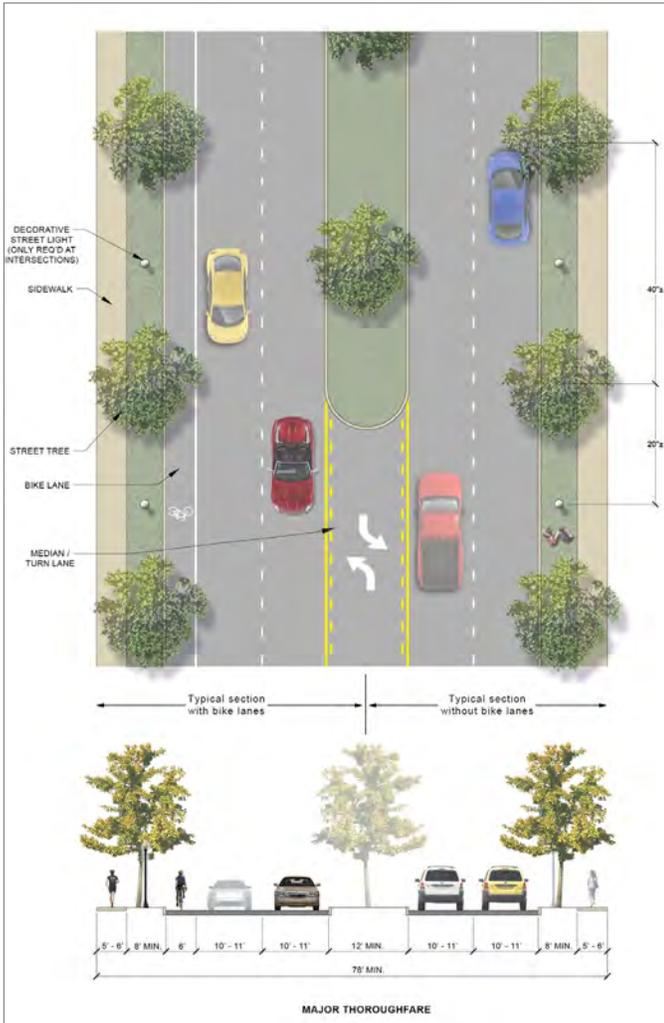
425.500: STREET NETWORK

- A. **Street Network Required:** Each development must provide an interconnected network of streets, alleys, lanes, or other passageways.
1. **Connectivity:** Each street shall, to the extent possible, connect to another street.
 2. **Grid:** An orthogonal grid is not required.
 3. **Dead Ends Prohibited:** Permanent dead end streets and cul-de-sacs are prohibited, except in the case of extreme topographic conditions, as determined by the Building Commissioner. Temporary closures are permitted.
- B. **Maximum Block Length:** No block shall exceed 500 feet in length as measured from the center of the right-of-way.
1. **Exception for Physical Constraints:** Where environmental conditions (e.g. streams) or similar constraining conditions require the establishment of a block face that is greater than 500 feet in length, a mid-block access way of at least 12 feet in width shall be established to accommodate pedestrian and bicycle movement, as determined by the Building Commissioner.
- C. **Unimproved Alleys:** Where a mid-block right-of-way has been dedicated but is not improved, the following shall be required at the discretion of the Building Commissioner:
1. **Development on a single lot:** Improvement of the alley shall not be required. However, new development shall be oriented on the lot to allow utilization of a future alley.
 2. **Development on 2 or more consecutive lots:** Improvement of the alley is required.
- D. **Street Construction:** Where a Street Section design has been designated on the Master Plan, the designated improvements shall be completed prior to the issuance of a certificate of occupancy for any building along its frontage. In lieu of final completion, the developer shall post a bond or other agreed upon surety in the amount not to exceed 110% of the expected cost of completion as certified by a profession engineer.



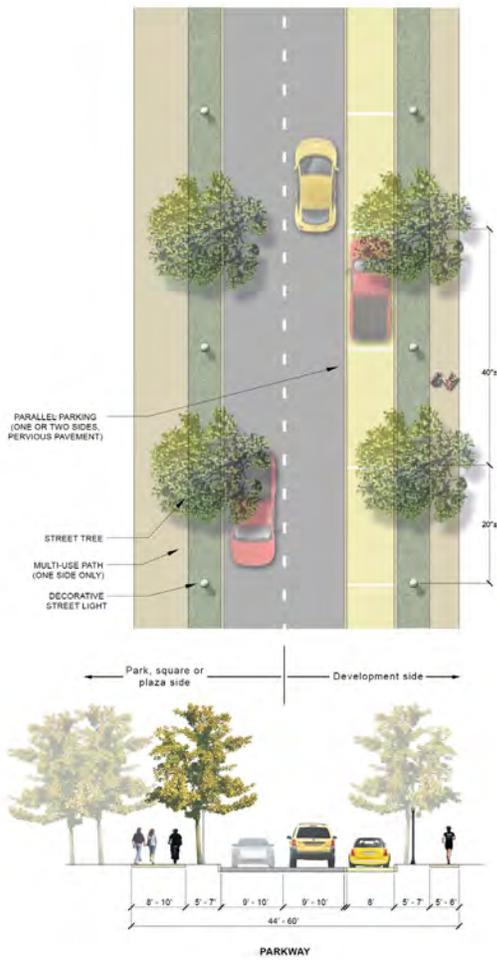
Street Section Elements

425.510: STREET SECTIONS



Street Type	A. Major Thoroughfare
Description	The primary purpose of this street type is to facilitate the movement of cars between regional destinations. This street type should be limited to major corridors.
Right-of-Way Width	78 ft minimum
Traffic Lanes	4 lanes (10-11 ft) ; center turn lane/median
Design Speed	45 mph
Parking Lanes	n/a
Bicycle Facilities	Bike lanes (6 ft)
Sidewalk	6-8 ft

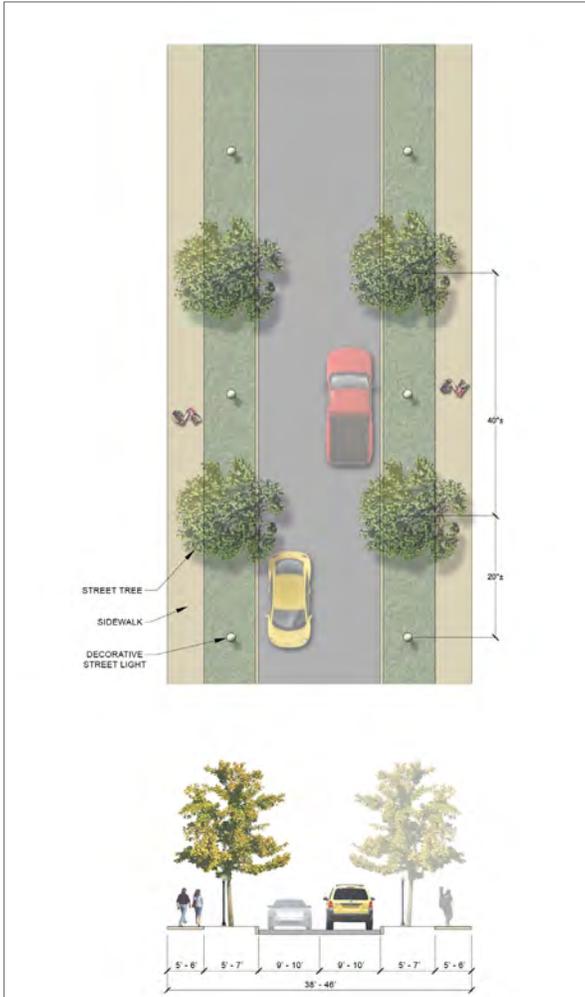
Street Type	B. Avenue
Description	Appropriate in both residential and commercial contexts, avenues serve as a primary neighborhood connector, often terminating at prominent buildings or plazas. The on-street parking they provide helps to support activity in neighborhood and employment centers.
Right-of-Way Width	54 to 74 ft
Traffic Lanes	2 lanes (9-10 ft each)
Design Speed	25 mph
Parking Lanes	Parallel parking (8 ft each)
Bicycle Facilities	Bike lanes (6 ft)
Sidewalk	6-8 ft



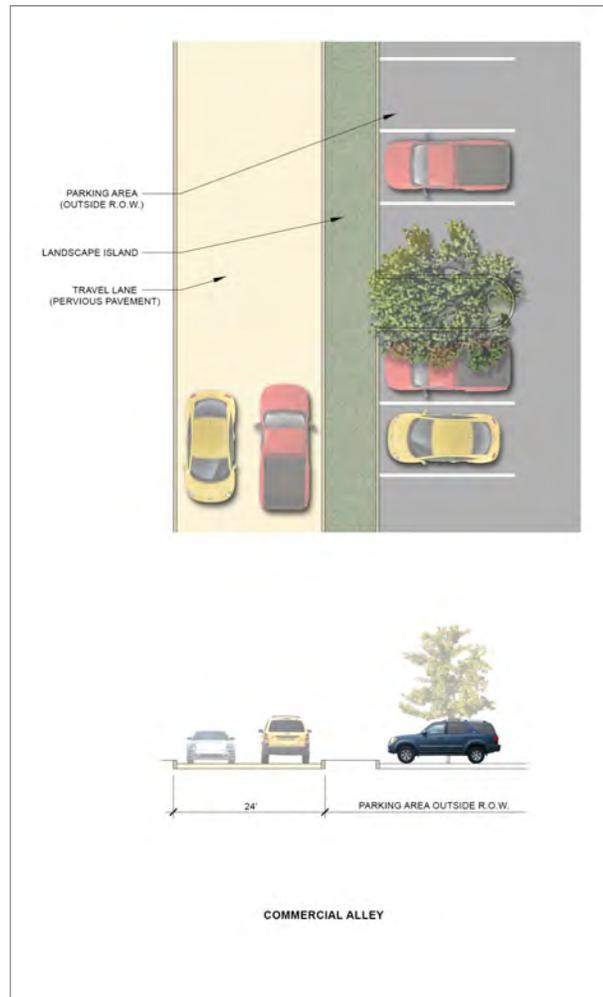
Street Type	C. Parkway
Description	This street type is designed to provide a scenic byway alongside a park or any type of open space.
Right-of-Way Width	44 to 60 feet
Traffic Lanes	2 lanes (9-10 feet each)
Design Speed	25 mph
Parking Lanes	8 feet (one side)
Bicycle Facilities	Multi-use path on park side
Sidewalk	6-8 feet on development side



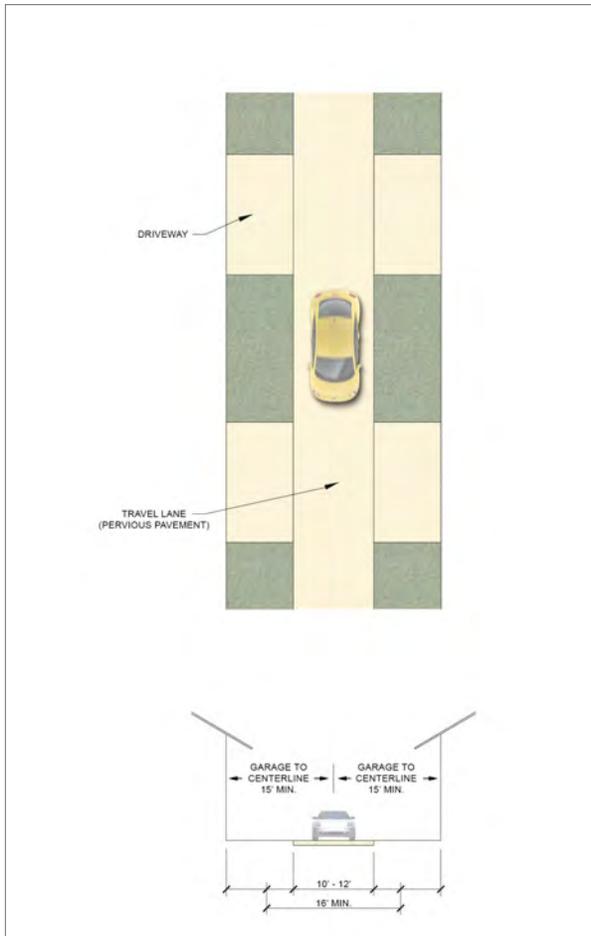
Street Type	D. Main Street
Description	This street type is designed to accommodate the highest density of residential and commercial use and the greatest concentration of pedestrian activity.
Right-of-Way Width	60 to 76 ft
Traffic Lanes	2 lanes (14 ft each with sharrows)
Design Speed	25 mph
Parking Lanes	8 feet
Bicycle Facilities	Sharrows
Sidewalk	12-16 ft with tree grates (or 8-12 feet with planting strip)



Street Type	E. Neighborhood Street
Description	This street type is most commonly applied in neighborhoods, and can be striped with bike lanes or on-street parking
Right-of-Way Width	50 to 62 ft
Traffic Lanes	2 lanes (30 to 36 ft total)
Design Speed	25 mph
Parking Lanes	Informal - 1 side only if bike lane is striped
Bicycle Facilities	Signed route or bike lane (5 ft)
Sidewalk	5-6 ft



Street Type	G. Commercial Alley
Description	This street type is intended to be privately maintained and is used most frequently as an access lane for off-street parking and loading areas. Although primary building entrances should always be located along the major fronting street and any large off-street parking areas, in certain situations adjacent structures may include secondary/ service entrances that allow direct access from rear commercial alleys.
Right-of-Way Width	24 ft
Traffic Lanes	2 lanes (24 ft)
Design Speed	25 mph
Parking Lanes	n/a
Bicycle Facilities	n/a
Sidewalk	n/a



Street Type	H. Residential Alley
Description	This street type is intended to be privately maintained and provide indirect, limited access to the rear of residential properties. It is not intended to accommodate through traffic but may accommodate city services such as garbage and recycling collection. Utilities, either above ground or underground, may be located in Residential Alleys to provide service connections to adjacent properties.
Right-of-Way Width	20 ft
Traffic Lanes	1 lane (10 to 12 ft)
Design Speed	25 mph
Parking Lanes	n/a
Bicycle Facilities	n/a
Sidewalk	n/a

ARTICLE 6: DEFINITIONS

425.600: DEFINITIONS OF TERMS & USES

This Section provides definitions for terms in this Chapter that are technical in nature or that otherwise may not reflect a common usage of the term. If a term is not defined in this Section, then the Building Commissioner shall determine the correct definition of the term.

Abut: Having common property boundaries or lot lines which are not separated by a street.

Accessory Building: A detached building or use subordinate to a Principal Building on the same lot and serving a purpose naturally and normally incidental to the Principal Building.

Bicycle Lane: a dedicated bicycle lane running within a moderate-speed vehicular street, demarcated by striping.

Block: the aggregate of private lots, passages, rear lanes and alleys, circumscribed by thoroughfares.

Block Face: the aggregate of all the building façades on one side of a block. The Block Face provides the context for establishing architectural harmony.

Civic: the term defining not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit, and municipal parking.

Civic/Landmark Building: a building designed specifically for a civic function.

Commercial: the term collectively defining workplace, office and retail functions.

DBH: Diameter at breast height; a measurement used to specify tree size

Design Speed: is the velocity at which a thoroughfare tends to be driven without the constraints of signage or enforcement. There are three ranges of speed: Very Low: (below 20 MPH); Low: (20-25 MPH); Moderate: (25-35 MPH); High: (above 35 MPH). Lane width is determined by desired design speed.

Driveway: The point where a street or alley intersects the Frontage Line in order to provide access to circulation and parking that are internal to a site.

Elevation: an exterior wall of a building not along a Frontage Line. See: Façade

Enfront: to place an element along a frontage line, as in “porches enfront the street.”

Entrance, Principal: the main point of access of pedestrians into a building.

Façade: the exterior wall of a building that is set along a Frontage Line (see Elevation; Frontage Line).

Floor to Ceiling (F-C): the dimensional measurement from the finished floor level to the finished surface of the ceiling.

Frontage Line: those lot lines that coincide with a public frontage. Façades along Frontage Lines define the public realm and are therefore more regulated than the elevations that coincide with other Lot Lines.

Infill: a project within existing urban fabric.

Layer: a range of depth of a lot within which certain elements are permitted.

Liner Building: a building specifically designed to mask a parking lot or a parking garage from a Frontage.

Lot Line: the boundary that legally and geometrically demarcates a lot (see Frontage Line). Codes reference lot lines as the baseline for measuring setbacks.

Lot Width: the length of the principal Frontage Line of a lot.

Mixed Use: multiple functions within the same building through superimposition or adjacency, or in multiple buildings within the same area by adjacency.

Pervious Surface: Porous groundcover with spaces in the material such as landscaping, gravel, and alternative pavers.

Principal Building: the main building on a lot, usually located toward the Frontage Line.

Private Frontage: the privately held layer between the frontage line and the Principal Building façade. The structures and landscaping within the Private Frontage may be held to specific standards. The variables of Private Frontage are the depth of the setback and the combination of architectural elements such as fences, stoops, porches and galleries.

Public Frontage: the area between the curb of the vehicular lanes and the Frontage Line. Elements of the Public Frontage include the type of curb, walk, planter, street tree and streetlight.

Public Space: an outdoor area dedicated for public use.

Setback: the area of a lot measured from the lot line to a building façade or elevation. This area must be maintained clear of permanent structures with the exception of: galleries, fences, garden walls, arcades, porches, stoops, balconies, bay windows, terraces and decks (that align with the first story level) which are permitted to encroach into the Setback.

Shared Parking: an accounting for parking spaces that are available to more than one function. The requirement is reduced by a factor, shown as a calculation. The Shared Parking ratio varies according to multiple functions in close proximity which are unlikely to require the spaces at the same time.

Sidewalk Story: The first story of a building that is directly accessible from the Principal Entrance on the Frontage Line. The Sidewalk Story may be raised several feet to accommodate a raised entry such as a Stoop.

Story: a habitable level within a building measured from finished floor to finished ceiling. Attics, parking garages, raised basements are not considered stories for the purposes of determining building height.

Streetscape: the urban element that establishes the major part of the public realm. The streetscape is composed of thoroughfares (travel lanes for vehicles and bicycles, parking lanes for cars, and sidewalks or paths for pedestrians) as well as the visible private frontages (building façades and elevations, porches, yards, fences, awnings, etc.), and the amenities of the public frontages (street trees and plantings, benches, streetlights, etc.).

Streetscreen: A freestanding wall built along the Frontage Line, or coplanar with the façade, often for the purpose of masking a parking lot from the street

425.610: DEFINITIONS OF LAND USES

Accessory Dwelling Unit: an apartment not greater than 600 square feet sharing ownership with a Principal Building. An Accessory Dwelling Unit may or may not be within an outbuilding. Accessory Dwelling Units do not count toward maximum density calculations in the Smart Code zoning districts.

Adult Uses: Businesses that cater to an adult-only clientele. Examples include adult book stores, adult motion picture theaters, adult peep shows, and massage establishments.

Artist Studio/Light Manufacturing Workshop: The assembly, fabrication, production or processing of goods and materials using processes that ordinarily do not create noise, smoke, fumes, odors, glare, or health or safety hazards outside of the building and are visually undifferentiated from an office building or a residentially-scaled garage. Typically involves the work of artisans or craftsman.

College/University: a public or private institution that provides educational programs beyond secondary education. Includes community colleges and vocational schools.

Community Garden: An exterior area for the small-scale production of vegetables and flowering plants for community or commercial use.

Cultural or Community Facility: Facilities designed to promote cultural advancement or serve a civic function. Examples include performing arts venues, libraries, museums, public or non-profit agencies, and community and social service facilities.

Entertainment Use: Large scale indoor establishments that provide amusement or entertainment for a fee or admission charge. Examples include bowling alleys, game arcades, indoor movie theatres, and skating rinks.

Four-Family Dwelling: a detached building designed for or occupied by 4 households.

Gas Station: An establishment having one or more pumps wherein a principal activity is the sale of motor fuel that is directly dispensed to the consumer's vehicle.

General Civic Use: Any use by a public or private organization which hosts public events, exhibitions, or other community-related services. Examples include libraries, museums, performing arts facilities,

General Commercial: Any storefront business that provides goods or services for sale to the general public.

Group Home: Any home in which 8 or fewer unrelated mentally or physically handicapped persons reside and may include 2 additional persons acting as houseparents or guardians who need not be related to each other or to any of the mentally or physically handicapped persons residing in the home.

Heavy Industry/Manufacturing: Any use that involves the use or storage of any hazardous materials or substances, or that is included in any of the industry sectors of the North American Industry Classification System (NAICS) in the following table:

NAICS Code	NAICS Industry Sector
211	Oil and Gas Extraction
212	Mining (except Oil & Gas)
213	Mining Support Activities
311	Food Manufacturing
313	Textile Mills
314	Textile Product Mills
316	Leather & Allied Product Manufacturing
321	Wood Products Manufacturing
322	Paper Manufacturing
324	Petroleum and Coal Products Manufacturing
325	Chemical Manufacturing
326	Plastics and Rubber Products Manufacturing
327	Nonmetallic Mineral Product Manufacturing
331	Primary Metal Manufacturing
332	Fabricated Metal Product Manufacturing
333	Machinery Manufacturing
336	Transportation Equipment Manufacturing

Hotel: A building, other than a bed and breakfast inn, with 20 or more guestrooms for persons who pay for lodging.

Inn: a building having not more than 19 guestrooms where travelers for compensation are lodged for sleeping purposes with at least a morning meal provided.

Live-Work Unit: a fee-simple dwelling unit that contains a Commercial component anywhere in the unit.

Manufacturing: premises available for the creation, assemblage and/or repair of artifacts, using table-mounted electrical machinery and including their retail sale.

Multiple-Family Dwelling: A building or portion

thereof used or designed as a residence for more than 4 households living independently of each other, sharing a common entry, accessed directly and facing the street. Includes apartments accommodating multiple for sale or rental dwellings above and beside each other.

Office: premises available for the transaction of general business but excluding retail, artisanal and manufacturing uses.

Package Liquor Store: an establishment at which primarily liquor products are sold at retail and not for consumption on the premises.

Parking Structure: a building containing two or more stories of parking. Parking Structures shall have Liner Buildings at the first story or higher.

Restaurant: an establishment where meals or refreshments are sold to the public.

School: A public or private institution that provides pre-primary, primary, or secondary education.

Single-Family Dwelling - Attached: single-family dwelling that shares a party wall with another of the same type and occupies the full frontage line.

Single-Family Dwelling - Detached: A detached building designed for or occupied exclusively by one household.

Two-Family Dwelling: A detached building designed for or occupied by 2 households.

Warehouse: Facilities for the storage of raw materials or manufactured goods before export or distribution for sale.

